



City of Yelm

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NOTICE OF DECISION

DATE: April 15, 2020
PROJECT NAME: Yelm Middle School Replacement
PROJECT LOCATION: 402 Yelm Avenue West, Yelm, WA
PARCEL NUMBERS: 75300100000, 75301000000, 22719231200, & 22719231201
CASE NUMBER: 2020.0028

NOTICE IS HEREBY GIVEN that the Community Development Department issued an Administrative site plan review approval to Yelm Community Schools at the above referenced location.

The complete decision may be viewed on the City’s website at www.yelmwa.gov and choosing ‘I Want To’ then ‘View’ then ‘Public Notices’ from the menu system. A copy of the decision may also be obtained at the Community Development Department in City Hall at 106 2nd Street SE, Yelm, WA 98597 during normal business hours for a fee of 15 cents per page. For additional information, please contact the Community Development Department at (360) 458-3835.



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ADMINISTRATIVE SITE PLAN REVIEW 2020.0028

FINDINGS OF FACT, CONCLUSIONS OF LAW, AND DECISION

INTRODUCTION

Yelm Community Schools (YCS) filed an administrative site plan review application to the City of Yelm for the construction of a new middle school.

The application for site plan review includes 16 exhibits submitted by YCS, including application, conceptual plans, traffic data, and environmental documents. A full list of exhibits is described below.

- Exhibit A: Site Plan Review Application
- Exhibit B: Conceptual Site Plan
- Exhibit C: Preliminary Landscaping Plans
- Exhibit D: Architectural Rendering 1 & 2
- Exhibit E: Preliminary Civil Construction Plans
- Exhibit F: Fire Truck Turning Movements
- Exhibit G: Project Memo Design Variances
- Exhibit H: Existing Traffic Conditions (May 31, 2019, SCJ Alliance)
- Exhibit I: Traffic Scoping Analysis (July 31, 2019, SCJ Alliance)
- Exhibit J: Construction Phase Traffic Conditions (January 16, 2020, SCJ Alliance)
- Exhibit K: Construction Phase Traffic Conditions (March 27, 2020, SCJ Alliance)
- Exhibit L: Mitigated Determination of Non-significance with Checklist
- Exhibit M: Geotechnical Feasibility Study (October 2019, Landau Associates)
- Exhibit N: Environmental Noise Assessment (July 2019, SSA Acoustics)
- Exhibit O: Gopher Mound Survey Memo (October 2019, Ecological Land Services)
- Exhibit P: Mazama Pocket Gopher Survey (October 2019, Ecological Land Services)

Having fully considered the record, the Site Plan Review Committee enters the following:

FINDINGS OF FACT

1.

YCS proposes a new 100,000 square foot middle school to replace the existing middle school located at 402 Yelm Avenue West, identified by Assessor's Tax Parcel Numbers 75300100000, 75301000000, 22719231200 & 22719231201.

The project includes the construction of a new middle school building with associated vehicle and bus parking. The new school building would be located at the northern portion of the site with new ingress and egress from Coates Road and Solberg Street. The old middle school will house students from Southworth Elementary for the 2021/2022 school year while Southworth Elementary is rebuilt. When Southworth Elementary school students move back to their new facility, the old middle school will be demolished, and new ball fields constructed.

2.

The property is currently developed as the Yelm middle school, with associated parking, ball fields and an area for bus parking. Properties to the north, east and west are developed as single family residences, with commercially developed parcels directly west on Yelm Avenue. Parcels across Yelm Avenue to the south are a mix of commercial uses. The property is approximately 22.3 acres in area.

3.

The property is zoned Open Space/Institutional District (OS) which is codified at Chapter 18.40 YMC. The OS district is intended to protect and preserve landed devoted to existing and future use for civic, cultural, educational, and similar facilities. Institutional buildings are an allowed use in the OS zone. [Section 18.40.020 YMC]

4.

YCS submitted a site plan review application on January 14, 2020, which was determined to be complete on February 7, 2020. Additional information requested at determination of completeness was the environmental determination from the lead agency. The application materials included a preliminary site plan, interim traffic conditions report, a variance request, critical areas report, geotechnical report, and preliminary landscape plans.

5.

As required by Section 18.10.050 YMC, the Yelm Community Development Department mailed a Notice of Application to local and state agencies and surrounding property owners on February 7, 2020. Notice was published on the City's website and published in the Nisqually Valley News on February 13, 2020.

No comments were submitted to the City.

6.

YCS, as lead agency pursuant to the State Environmental Policy Act, issued a Determination of Non-significance (DNS) on February 13, 2020.

The DNS was issued based on supporting information, including a traffic scoping analysis prepared by SJC Alliance on July 31, 2019. The report concluded, in part, that *"While the net increase in traffic volumes is negligible for the proposed project, school traffic will enter/exit the street network at different locations. To address the change in circulation patterns we recommend preparing a Circulation Analysis for the project. The analysis would evaluate AM peak hour trips and afternoon peak hour traffic conditions at the following locations:*

- *West School Driveway/Coates Avenue*
- *East School Driveway/Coates Avenue*
- *School Driveway/Solberg Street*
- *Coates Avenue/Solberg Street*

- *Coates Avenue/Edwards Street*
- *Yelm Avenue/Solberg Street*

The circulation analysis was prepared on March 27, 2020 and submitted to the City on April 7, 2020. The circulation analysis, part of the environmental information upon which the SEPA threshold decision was based, identifies that the middle school project will have a minor adverse environmental impact on the transportation system, however intersections will continue to operate at acceptable levels of service.

7.

Chapter 18.16 YMC requires a determination that the infrastructure facilities necessary to serve a proposed development are in place or planned for and properly funded with a reasonable expectation that the facilities will be in place at the time needed to preserve adopted levels of service.

Concurrency with sewer infrastructure is met when the project is within an area approved for sewer pursuant to the adopted sewer comprehensive plan for the City and improvements necessary to provide facilities and services are present to meet the needs of the proposed development.

The application materials indicate that the new middle school will be served by City sewer services through the connection to City services located in Solberg Street.

Concurrency with water infrastructure is met when the project is within an area approved for municipal water service pursuant to the adopted water comprehensive plan for the City and improvements necessary to provide services are present.

The application materials indicate that the new middle school will be served by City water services through the connection to City services located in Coates Road.

Concurrency with transportation infrastructure is met when the project completes frontage improvements, makes off-site improvements required for the safe movement

of traffic and pedestrians if impacted by traffic from the development, and pays a traffic facilities charge.

The application proposes the new middle school be served by two driveways on Coates Road, an existing driveway on Edwards Street, and a new driveway on Solberg Street. The existing access point on Yelm Avenue and one on Edwards Street would be abandoned at the time the existing school is demolished.

Edwards Street and Coates Road are constructed to current City street standards. Yelm Avenue is not constructed to City standards at this time, lacking curb, gutters, and bike lanes. Solberg Street also does not meet current City standards and is currently a two-lane chip seal roadway with no parallel parking, curb & gutter, planter strip, or sidewalk.

Transportation facility charges will be calculated and collected at the time of building permit issuance.

Concurrency with school infrastructure is met through the payment of a school impact fee at the time of construction.

Schools do not generate new students and are therefore exempt from school impact fees.

Concurrency with fire protection is met through the payment of a fire impact fee at the time of construction.

A fire impact fee will be calculated and collected at the time of building permit issuance.

8.

Title 18 YMC is the Unified Development Code for the City of Yelm and establishes standards for development within the various zoning districts. The subject property is identified by the Zoning Map as being within the OS zoning district.

Institutional buildings are allowed in the OS zoning district as a permitted use.
[Section 18.40.020 (B) YMC]

Setback requirements for the OS zoning district are 35 feet from an urban arterial street, 25 feet from a collector or local access street, 25 feet from a side yard if the adjacent property is residentially zoned, otherwise 15 feet. [Section 18.40.040 YMC]

The proposed building will be located greater than 35 feet from all property lines.

Buildings in the OS zoning district may be up to 40 feet in height. [Section 18.40.040 YMC]. Pursuant to the 2015 International Building Code, building height is defined as the vertical distance from grade plane to the average height of the highest roof surface.

The average height of the roof surface of the proposed building is thirty-one and one-half (31.5) feet above the grade plane.

Elementary and junior high schools require one parking stall for each 10 students of design capacity. [Section 18.54.030 YMC]

Parking stall minimum width is 8.5 feet with a 9-foot width desired. Minimum stall depth is 20 feet. [Detail 2-22 Yelm Engineering Specifications and Standard Details]

The proposed middle school will have a capacity of 725 students, which would require a minimum of 73 parking stalls.

The proposal includes over 200 on-site parking stalls which is more than the minimum required. The conceptual plan does not meet required parking sizes.

9.

Title 18 YMC provides guidance and regulation for site planning during development. Chapter 18.55 establishes landscaping requirements for various types of development.

Perimeter landscape requires an 8-foot planter area with a combination of evergreen and deciduous trees.

The application materials state that perimeter landscaping compromises the visibility to the areas surrounding the school site which is a safety concern. The school also requests to retain chain link fencing to provide security and safety of students while still providing visibility.

The site is currently surrounded by chain link fencing, which may be maintained. There is no proposed fencing for the frontage of Coates Road that includes visitor parking and student drop-off area. The conceptual site plan does not show perimeter landscape in this area.

Pedestrian corridors require streetscape landscaping to provide visual relief and separation of pedestrians from streets and parking areas. Streetscape landscaping is achieved with frontage improvements.

The proposed site plan does not provide for required streetscape landscaping on Solberg Street.

Parking lot landscaping includes a minimum of 24 square feet of landscape area for each parking stall proposed, planting area must contain at least one tree with no parking stall located more than 50 feet from a tree.

The proposed site plan does not meet required parking lot landscaping.

Stormwater facility landscaping includes landscaping of the stormwater facility to be incorporated with all on-site landscaping.

The proposed site plan shows stormwater facilities to be located underground, and does not require landscaping.

Trash enclosures are required to incorporate the architectural feature of the primary structure and landscaping. Trash enclosures should be located to the rear of

the site, and not located between a street and the front of a building, and location approved by the local provider. The enclosure shall be constructed of CMU, wood or architectural steel, with gates of similar durable materials. [Section 18.59.040 YMC]. Landscaping shall consist of shrub trees of the *Thuja occidentalis* pyramidal variety, spaced 2.5 feet on center, with perimeter landscape groundcover around the enclosure. [Section 18.59.040 (C) YMC]

The proposed site plan shows the refuse area located to the west side of the building. The proposal does not show required landscaping or approval by local provider.

Section 18.59.050 YMC provides guidance for illumination. Walkways shall be lit to a minimum of 2-foot candles. Parking lot illumination levels shall not exceed 0.1-foot candle at five feet past the edge of the property line(s). Fixtures are required to be mounted to a maximum of 20 feet above grade.

Illumination plans were not included as they are a component of civil plan submission.

Mailboxes for the site are required to be cluster box units (CBU) and placed on site and not in the public right-of-way (ROW). [Section 18.59.080 YMC]

YCS receives mail at a post office box and does not include on-site mail delivery.

10.

The Yelm Critical Areas and Resource Lands, Chapter 18.21 YMC provides protection for critical aquifer recharge areas, frequently flooded areas, wetlands, geologically hazardous areas, and fish and wildlife habitat conservation areas.

All of Yelm is identified as a critical aquifer recharge area. Compliance with Federal, State, and County water source protection regulations and with the City's

adopted stormwater regulations is required to protect the aquifer. [Section 18.21.070
(C) YMC]

The proposed site plan proposes stormwater facilities for onsite and offsite improvements that meet the SMMWW.

The Mazama Pocket Gopher has been listed as a threatened species by the Washington Department of Fish and Wildlife since at least 2008. Yelm has protected this species through the implementation of the Critical Areas Code. When a development occurs on property suspected to be occupied by the Mazama Pocket Gopher, the Community Development Department has required the applicant prepare a critical areas report which would include mitigation measures if it was determined that pocket gophers would be impacted by the proposed development. The Washington Department of Fish and Wildlife is provided with notice of all threshold determinations issued pursuant to the State Environmental Policy Act and the City consults with the Department when a critical areas report is required.

In April 2014, the U.S. Fish and Wildlife Service listed the Yelm subspecies of the Mazama Pocket Gopher as threatened under the Endangered Species Act. While the City of Yelm is not responsible for implementation or enforcement of the Endangered Species Act, it consults with the Service and provides notice to applicants that the pocket gopher is a federally protected species and a permit from the U.S. Fish and Wildlife Service may be required.

A report by Ecological Land Services concluded that there was no evidence of gophers on this site.

Compliance with Yelm's requirements under the Critical Areas Code does not ensure compliance with the provisions of the Endangered Species Act. The applicant should contact the US Fish and Wildlife Service with any questions about compliance with Federal standards for threatened species.

11.

Chapter 13.04 YMC and Chapter 4 of the Yelm Engineering Specifications and Standard Details establish requirements for connection to the City's water system. Water service connections are by a service line and water meter in the public right-of-way. [Section 13.04.110 YMC]

The existing middle school is connected to the City's water system. There is a 10-inch water main located in Coates Road.

The proposed site plan shows water connection for the new building from Coates Road and that the water connection to the existing building will be removed at the time it is demolished.

The City implements a cross-connection and backflow control program pursuant to Title 43 RCW and Chapter 248-54 WAC. [Section 13.04.220 YMC]

The proposed site plan shows a reduced pressure backflow assembly as required.

Section 13.04.025 YMC requires all existing well(s) on the property be decommissioned pursuant to Chapter 18.104 RCW (Department of Ecology standards) and any water rights associated with these wells shall be dedicated to the City of Yelm.

The application materials do not show decommissioning of the existing irrigation well.

12.

Fire protection to the buildings is required to meet the International Fire Code. The specific requirements for installation of additional fire hydrants is determined during civil plan review. The International Building Code (IBC) provides occupancy ratings for different types of uses.

Identified in the 2002 City of Yelm Water Comprehensive Plan is a requirement to install fire hydrant locks as part of the City's water conservation and accountability program.

Preliminary civil plans show fire hydrants, and the provision for hydrant locks.

13.

Chapter 13.08 YMC and Chapter 7 of the Development Guidelines establish requirements for connection to the City's sewer system. Section 13.08.020 YMC requires all new buildings constructed to connect to City sewer services.

The proposed site plan shows sewer connection to the main located on Solberg Street and STEP tank systems which meet City of Yelm requirements.

At the time the existing middle school is demolished, the existing STEP tanks are required to be abandoned.

14.

All of Yelm is considered a critical aquifer discharge area. The control and treatment of stormwater is required to protect the critical aquifer. The City has adopted the latest edition of the Stormwater Management Manual for Western Washington (SMMWW) published by the Washington Department of Ecology. [Section Chapter 18.27 YMC]

The proposed site plan proposes stormwater facilities for onsite and offsite improvements that meet the SMMWW.

15.

Frontage improvements are required as part of development in the City. [Section 18.16.050 YMC]

Solberg Street is considered a Local Access Commercial Street, which includes half street improvements that include an 11-foot traffic lane, a 7-foot parking lane, a 6-

foot planter strip and 5-foot sidewalk. A total of 29 feet of ROW is required for these half street improvements. There is currently a total of 50 feet of ROW for Solberg Street, 25 feet of which is located on the YCS side of Street centerline.

The proposal includes a modified standard for Solberg Street south of the new school bus and staff parking entrance that provides back-in angled parking in lieu of parallel parking. North of the new school entrance, the proposal does not include any on street parking. The stated intent for the requested design change is based on safety of students accessing the school by eliminating any drop off space north of the school entrance which would require students to cross a parking lot and bus drop off zone to access the school. The justification for adding back-in angle parking on the southern portion is to mitigate the loss of on street parking on the northern portion.

The proposal includes parking in excess of the minimum required and mitigation for loss of on street parking is not required.

Yelm Avenue is an Urban Arterial which at half street build out would include a 12-foot center turn lane, an 11-foot traffic lane, a 5-foot bike lane, an 8-foot planter strip and a 6-foot sidewalk.

The proposed site plan does not include improvements to Yelm Avenue.

Section 18.16.080(B) YMC allows the Site Plan Review Committee to defer frontage improvements when the installation of improvements could be more safely, efficiently and effectively implemented if done concurrently with the installation of improvements required for other properties along the same street frontage.

CONCLUSIONS OF LAW

A.

Section 18.13.020 (B) YMC allows the Site Plan Review Committee to approve a proposal when the preliminary site plan conforms to the standards, provisions and policies of the city as expressed in its various adopted plans and ordinances.

B.

The proposal, as submitted, is generally consistent with the development, construction, and design standards of the Unified Development Code if certain mitigating measures are applied.

C.

The proposed plan's parking stalls do not meet the requirements of the Yelm Engineering Specifications and Standard Details DWG. NO. 2-22.

The proposed plan does not meet the landscaping requirements of Sections 18.55.020(B) perimeter landscape on Coates Road, 18.55.020(C) streetscape landscape on Solberg Street, 18.55.020(D) parking lot landscape in parking areas, and 18.59.040(C) YMC refuse area landscape.

The proposed plan does not show refuse location approval from local waste provider.

The proposal did not include Illumination plans.

The proposed street section does not include required ROW for the Local Access Commercial Street standard DWG. NO. 2-6, Yelm Engineering Specifications and Standard Details.

The proposed modification to the Local Access Commercial Street standard to the south of the proposed access to bus and staff parking area on Solberg Street is not required to mitigate the loss of on street parking to the north of the proposed access,

and does not meet the requirements of the Yelm Engineering Specifications and Standard Details DWG. NO. 2-6.

The proposal provides no improvements to meet Yelm's standards for an Urban Arterial, DWG. NO. 2-3 Yelm Engineering Specifications and Standard Details.

The proposed plans do not show the onsite well and decommission requirement.

DECISION

In accordance with the analysis above, the Site Plan Review Committee issues the following decision:

The Administrative Site Plan Review is hereby approved as proposed, subject to the following conditions:

1. Parking stalls shall be sized according the required standards of the Yelm Engineering Specifications and Standard Details with the preferred 9-foot width and 20-foot depth.
2. Perimeter landscape is required along the frontage of Coates Road and shall be included in a detailed landscape plan to be submitted with civil construction plans.
3. Streetscape landscaping is required as part of frontage improvements to Solberg Street and shall be included in a detailed landscape plan to be submitted with civil construction plans.
4. Parking lot landscaping is requires no parking space to be further than 50 feet from a tree, and shall be included in a detailed landscape plan to be submitted with civil construction plans.

5. Landscaping consistent with Section 18.58.040(C) YMC is required around refuse enclosure(s) and shall be included in a detailed landscape plan to be submitted with civil construction plans.

6. Civil plans shall show location of trash enclosure approved by the local garbage service provider.

7. Civil plan submission shall include an illumination plan meeting the requirements of Section 18.59.050 YMC.

8. The applicant shall dedicate 4 feet of additional ROW on Solberg Street to accommodate a Local Access Commercial Street.

9. Solberg Street shall be constructed to the City Standard for Local Access Commercial from Yelm Avenue northward to the proposed driveway. From the proposed bus and staff parking access north to Coates Road, Solberg Street shall be modified to remove on street parking. The location of the sidewalk shall be consistent with the standard details for a local access commercial street and with the sidewalk location in the unmodified portion of Solberg Street.

A minimum drive lane of 11 feet for southbound traffic on Solberg Street must be maintained throughout the entire corridor.

8. An agreement for deferral of frontage improvement requirements for Yelm Avenue shall be implemented and recorded.

9. Any existing well(s) on the property must be decommissioned pursuant to Department of Ecology standards and any associated water rights dedicated to the City of Yelm.

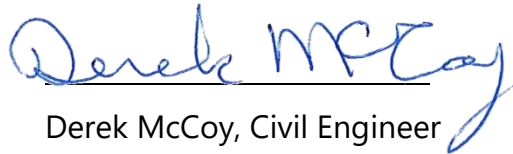
10. Prior to construction, civil engineering plans shall be submitted to the Community Development Department for review and approval. Civil plans submission

shall be consistent with the requirements of this approval and Yelm Development Guidelines and shall include details on all required infrastructure.

Dated this 15th day of April 2020



Grant Beck,
Community Development Director



Derek McCoy, Civil Engineer
for Steve Clark,
Public Works Director

Prepared this 15th day of April, 2020



Tami Merriman,
Associate Planner

APPEAL

The Site Plan Review Committee's decision in this matter may be appealed pursuant to Chapter 18.10 YMC, to the City of Yelm Hearing Examiner no later than 21 days from the date of this decision. An appeal must be in writing, contain specific factual objections, and include the appeal fee of \$1,250.00.