



# City of Yelm

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## WASHINGTON

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### **NOTICE OF APPLICATION**

**Mailed on: July 18, 2019**

PROJECT NAME: Nisqually Landing Apartments  
PROJECT LOCATION: 17021 103<sup>rd</sup> Ave SE, Yelm, WA 98597  
PROJECT PARCEL NUMBER: 64303100500  
LAND USE CASE NUMBER: 20190051

An application submitted by Dennis Daly, 8206 Baird Rd NE, Olympia, WA 98516, for the above referenced project was received by the City of Yelm on July 9, 2019. The City has determined the application to be complete on July 18, 2019. The application and any related documents are available for public review during normal business hours at the City of Yelm, 106 2<sup>nd</sup> Street SE, Yelm WA. For additional information, please contact the Community Development Department at (360) 458-3835.

**PROJECT DESCRIPTION:** The applicant proposes to construct 50 apartment units, with associated parking and stormwater facilities.

**ENVIRONMENTAL and OTHER DOCUMENTS SUBMITTED WITH THE APPLICATION:** A site plan, SEPA checklist, traffic generation memorandum, and preliminary drainage, geotechnical, and critical areas reports were submitted.

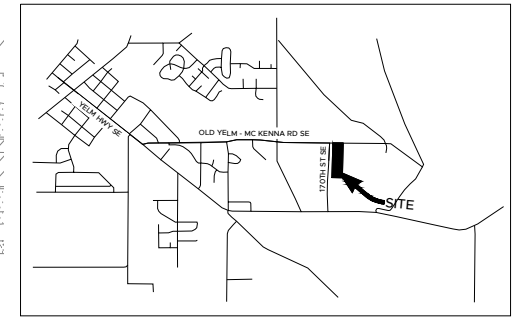
Additional Information or Project Studies Requested by the City: N/A

No preliminary determination of consistency with City development regulations has been made. At minimum, this project will be subject to the following plans and regulations: City of Yelm Comprehensive Plan, Unified Development Code Title 18 YMC, and the Stormwater Management Manual for Western Washington.

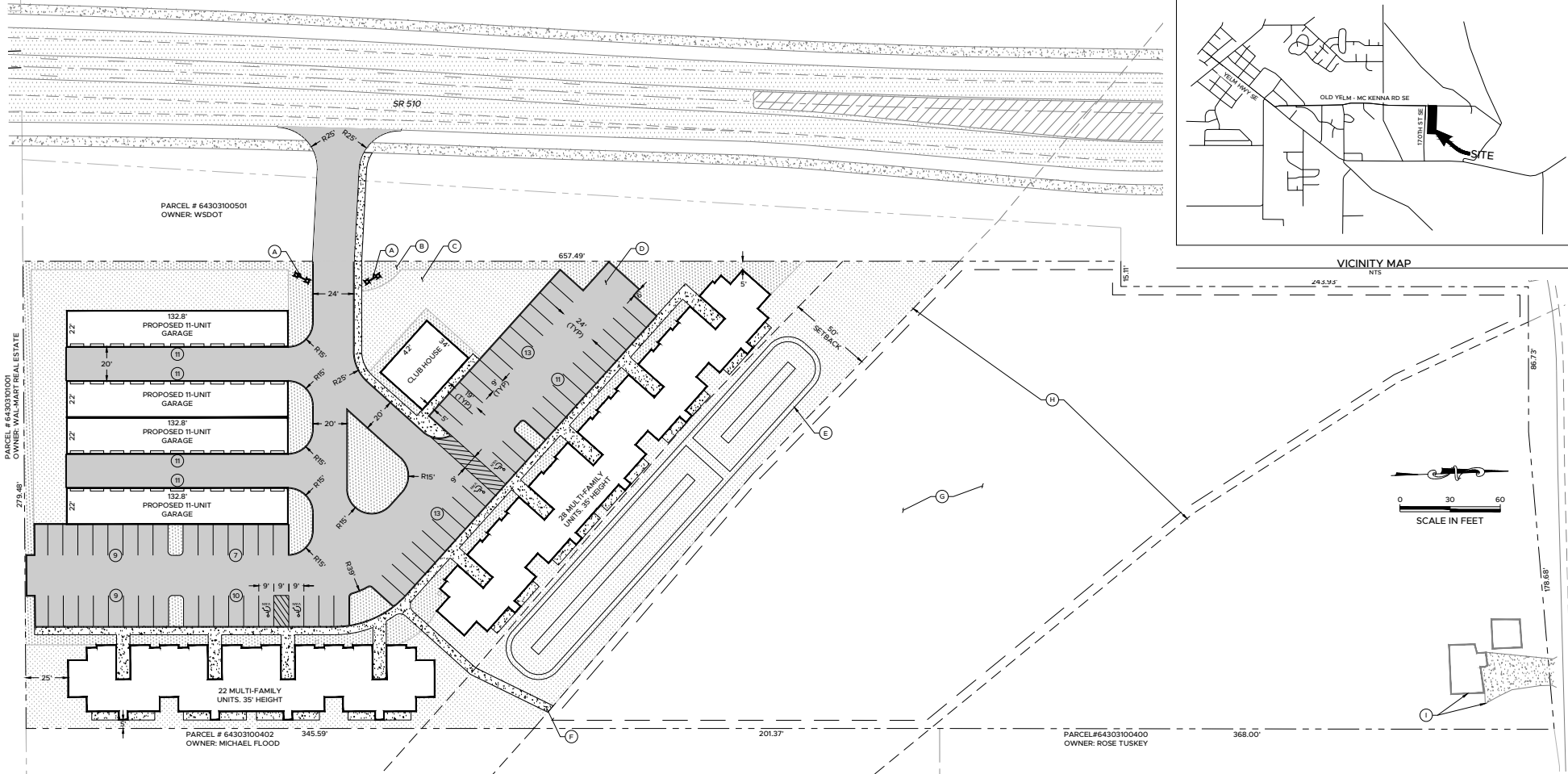
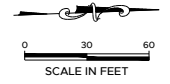
The City of Yelm invites your comments early in the review of this proposal. Comments should be directed to Tami Merriman, Community Development Department, 106 2<sup>nd</sup> Street SE, Yelm WA 98597, (360) 458-8496.

### **THE 15-DAY PUBLIC COMMENT PERIOD ENDS AT 5:00 PM ON AUGUST 2, 2019**

This notice has been provided to appropriate local and state agencies, and property owners within 300 feet of the project site. These recipients will also receive the following items when available or if applicable: Environmental Threshold Determination, Notice of Public Hearing and Notice of Final Decision. If the proposed project requires a City Council decision, it will be mailed to all those who participate in the public hearing and to anyone else requesting the decision in writing. Additionally, there will be a 14-day public comment period if an environmental determination is issued. Opportunities for appeal occur within twenty one (21) days after the date the notice of decision is issued. City Council decision can be appealed through Superior Court.



VICINITY MAP  
NTS



**SURVEY DATA**

EXISTING FEATURES ARE AS DEPICTED IN THURSTON COUNTY GEODATA. FUTURE YELM LOOP BYPASS CONFIGURATION AS PROVIDED BY WSDOT

**PARKING COUNT**

PARKING LOT: 72  
GARAGE STALLS: 44  
TOTAL STALLS: 116

**KEY NOTES**

- A. PROPOSED MONUMENT SIGN
- B. PROPOSED LANDSCAPING (TYP)
- C. PROPOSED LAWN (TYP)
- D. PROPOSED ASPHALT PAVEMENT (TYP)
- E. PROPOSED COMBINED RETENTION TREATMENT POND
- F. PROPOSED SIDEWALK (TYP)
- G. PROPOSED OPEN SPACE - 72,864 SF
- H. HIGH GROUNDWATER HAZARDOUS AREA
- I. EXISTING HOUSE AND DRIVEWAY TO BE REMOVED
- J. FUTURE YELM LOOP BYPASS CONFIGURATION

FILE NAME: Z:\P01\8005 D101\CAD\SHEET\Master\_Site\_Plan.dwg DATE: 7/16/2019 1:38:43 PM

DATE:	REVISION:	OWN. BY:	APP'D. BY:	REVIEWED BY:
				NDT
				NDT
				PCS
				DATE: 07-09-2019



Know what's BELOW  
Call 811 before you dig.



**IRISGROUP**  
civil engineers

360-688-1302 | 4160 6th Ave SE, Suite 105, Lacey, WA 98503

NISQUALLY LANDING APARTMENTS  
17021 103RD AVE SE  
YELM WA, 98597

PRELIMINARY SITE PLAN

PROJ. NO: DT01  
SHEET NO: C-1  
2 of 5